

ZONING CASE: Z2003-065

City Council District No. 1

Requested Zoning Change: To Establish a
Neighborhood Conservation District (NCD-2)

Date: May 8, 2003

Scale: 1" = 1000'

Source: neighborWeb Vista.mxd

- Subject Property
- 200' Notification
- Alta Vista Zoning



ALTA VISTA NEIGHBORHOOD CONSERVATION DISTRICT

Non-Residential Design Standards

CATEGORY	ISSUE	NON-RESIDENTIAL Design Standards
RIGHT-OF - WAY	Pavement Width	Pavement widths shall be maintained within 10% of the existing width.
	Sidewalk Width/ Placement, Greenway	Sidewalks are desired throughout areas along non-residential corridors. Sidewalk construction shall complement the character and placement of existing sidewalks. If sidewalks are placed behind the curb without a greenway, accommodation shall be made to incorporate shading devices along a minimum of 50% of the sidewalk length, preferably, through natural vegetation.
NATURAL VEGETATION	Tree Preservation	In addition to the standards noted in UDC Section 35-523, Significant, Heritage and Historic trees having a trunk size of 20" DBH or larger shall not be removed, unless no other site plan alternative is feasible.
SITE DESIGN	Setbacks	The front setback for a non-residential structure shall be located as close to the property line as possible, but no deeper than the "median" setback along a blockface.
PARKING	Refuse Containers	Loading and refuse pick-up/delivery shall be located at the rear of the structure (outside buffer yards), or completely screened from public view of the streetscape.
	Parking	<p>Minimum parking standards are encouraged. Any parking provided above the minimum required shall be constructed of pervious material (e.g., crushed granite, gravel, grass pavers, etc.).</p> <p>Parking shall be completely separated from the streetscape, located behind buildings, where possible. Side-yard parking may be incorporated if a) at least 50% of the street frontage is occupied by the building, and b) the parking lot is no greater than 65 feet wide along the streetface.</p>
	Curb Cuts	Curb cuts for parking areas shall not exceed 30 feet in width.
	Lighting	Site lighting for parking areas, buildings, pedestrian routes, design features and public ways shall be shielded so that offsite glare and spillover onto adjacent properties is prevented. Ambient light levels to adjacent residential properties shall not exceed the equivalent lumen output of a 100-watt incandescent light bulb. The height of parking area luminaries shall not exceed 18 feet.
	Signage	In addition to the requirements of City Code Chapter 28 (Signs and Billboards) the following provisions will apply: For a distance of 200 feet from the center line of N. Flores Street and San Pedro Avenue, off premise advertising and billboards are prohibited; freestanding signage shall be limited to a height of four (4) inches per each foot in building height, up to a maximum of eight (8) feet, and a sign area of thirty-six (36) sq.in. per linear foot of building frontage, up to a maximum of fifty (50) sq.ft. Attached or temporary signs shall not conceal more than 15% of the building facade or a window opening.
MASSING	Structure Size, Height	<p>NON-RES STRUCTURES: The additional height bonus allowed by code due to additional setbacks shall not be applicable. It is encouraged that all structures incorporate housing uses above the first floor.</p> <p>San Pedro Avenue: A maximum height of five (5) stories is allowed.</p> <p>N. Flores Street: (North of Ashby St.) A maximum height of two (2) stories is allowed. (South of Ashby St.) A maximum height of one (1) story is allowed.</p>

ALTA VISTA NEIGHBORHOOD CONSERVATION DISTRICT

Non-Residential Design Standards

CATEGORY	ISSUE	NON-RESIDENTIAL Design Standards
ELEVATION FEATURES	Front Entry	Front Entry: Entrances doors or alcoves shall be located either along the primary street facade, or at the primary street facade corner. When feasible, utilize original entrance openings. Entrance doors shall be recessed no more than 10% of the depth of the building, up to a maximum of eight (8) ft.
	Shading Device	A shading device shall be incorporated to provide continuous sun protection at the midpoint of the sidewalk width. This may be accomplished through the use of building orientation, minimum 3 ft. deep building canopies or awnings (metal, wood or fabric; no back-lit), street trees.
	Window Openings	It is desired to maintain as much storefront window area as is possible along the primary street facade(s). At minimum, 25% of the first floor primary street façade shall be dedicated to window openings. When present in an existing structure, transom or other original window forms shall be retained and utilized, using transparent glass. When replacing windows, the original profile shall be maintained, although there is no restriction on replacement material. (Note: compliance with the state adopted, 2000 International Energy Conservation Code is required)
	Building Materials	Rehabilitation: Building materials shall match the existing structure in scale, proportion, and/or profile. New construction and/or rehabilitation: The use of natural wood siding (or cement-fiber board), stucco, brick or stone is encouraged. The use of natural wood siding substitute products (vinyl, MDF, plywood, hardboard) is prohibited. New structures may have a maximum of 25% metal siding building material for each facade visible from the public rights-of-way.
	Roof Line/Pitch	Front-end gable or gambrel roofs shall not exceed thirty five (35) feet in length. A hip/gable roof shall maintain a minimum pitch of 5:12.

**ALTA VISTA
NEIGHBORHOOD CONSERVATION DISTRICT
Residential Design Standards**

CATEGORY	ISSUE	RESIDENTIAL Design Standards
RIGHT-OF - WAY	Pavement Width, Curbs	Pavement widths shall be maintained within 5% of the existing width.
	Sidewalk Width/ Placement, Greenway	Infill sidewalks shall maintain the existing width of the adjacent sidewalk. If replacing more than 50% of the entire length of the sidewalk behind the property line, sidewalks are to be constructed at a minimum width of 4' and at least 3' behind the curb, when feasible. Transitions in sidewalk width and/or distance from curb shall occur on the street side of the sidewalk and/or at the driveway.
	Curb Cuts	Driveway curb cuts shall not exceed 15 feet in width, and a maximum of one curb cut per lot or 75 feet of frontage.
	Driveway Width	Driveways shall maintain a maximum width of twelve (12) feet (8-10 feet is preferred) on the primary street facade, from the intersection with the street to a point five (5) feet behind the primary structure setback. Driveway "runways/ribbons" are preferred and shall maintain a width between 1'-6" and 2'-6".
	Alleys	All alleys shall remain open rights-of-way.
	Utility Placement	RECOMMENDATION: When feasible, place all new or replacement utility service underground. STANDARD: Placement location of all above-ground utility pedestals will be reviewed by the NCD staff.
NATURAL VEGETATION	Tree Preservation	NEW CONSTRUCTION ON VACANT PARCELS: In addition to the standards noted in UDC Section 35-523, a tree survey (noting tree species and size) is required for all new construction or rehabilitation (if enlarging building footprint), noting location, canopy and caliper of all trees 6" DBH and over. If the proposed area of a new construction necessitates the removal of any Significant, Heritage and Historic trees that are more than 20" DBH, an alternative site plan review will be required. This site plan review, conducted by City staff, will determine and offer suggestions for alternative building areas, and/or satisfaction of mitigation requirements. Significant, Heritage and Historic Trees shall not be removed unless no other site plan alternative is feasible.
SITE DESIGN	Lot Size	LOT SIZE: The lot size of any replatted parcel shall be reduced no greater than 25% of the existing median lot size, per blockface. The lot size of any replatted parcel shall not be increased greater than 25% of the existing median lot size, per blockface, or, if a corner parcel condition, shall not be increased greater than 40% of the existing median lot size, per blockface. The minimum lot width for a single-family parcel shall be twenty-five (25) feet. Note: If an existing lot size exceeds the design standard range, any portion of the lot may be replatted to reduce the size of the original lot, even if the remaining portion of the lot exceeds the standard.
	Setbacks	PRIMARY STRUCTURE: Front: The front setback for a primary dwelling structure on a residential lot shall maintain a setback the distance between 5% of the existing "median" setback on the blockface, and 5% of the median setback of the adjacent structure(s), up to a maximum setback of 35 feet. ANCILLARY (non-dwelling) BLDG : The front setback for an ancillary structure shall be located within the back 35% of the parcel.

**ALTA VISTA
NEIGHBORHOOD CONSERVATION DISTRICT
Residential Design Standards**

CATEGORY	ISSUE	RESIDENTIAL Design Standards
SITE DESIGN	Signage	In addition to the requirements of City Code Chapter 28 (Signs and Billboards) the following provisions will apply for Residential structures used for Non-Residential uses: Off premise advertising and billboards are prohibited; freestanding signage shall be limited to a height of four (4) inches per each foot in building height, up to a maximum of eight (8) feet, and a sign area of thirty-six (36) sq.in. per linear foot of building frontage, up to a maximum of fifty (50) sq.ft. Attached or temporary signs shall not conceal more than 15% of the building facade or a window opening.
PARKING	Refuse Containers	Refuse containers (for pick-up/delivery) on multi-family structure parcels, shall be located at the rear of the structure (outside buffer yards), or completely screened from public view of the streetscape.
	Parking	Designated parking areas for multi-family structure parcels shall be located at the rear of the lot. With the exception of any required parking to fulfill ADA requirements and driveway area, no parking areas shall be constructed within the front yard.
MASSING	Auto Storage Location	<p>Garages: A garage may only be constructed in the rear yard (or side yard, if corner lot).</p> <p>Carports: A carport may be constructed in the rear yard (or side yard, if corner lot). It may also be constructed as an integral element of the primary structure, if recessed a minimum of five (5) feet behind the primary structure front facade, constructed of the same building materials and maintains the same roof line(s) as the primary structure.</p> <p>Temporary carport structures: Prohibited.</p>
	Structure Size, Height	<p>PRIMARY STRUCTURE: An additional height bonus for additional setbacks are prohibited in all zones.</p> <p>Hickman to Ashby Streets: Maximum dwelling size shall be function of existing lot size and required NCD setbacks. No structure shall exceed one story in height.</p> <p>Ashby to Hildebrand Streets: Maximum dwelling size shall be function of existing lot size and required NCD setbacks. Maximum height is dictated by UDC standards. Additions on structures that currently exceed maximum height shall be allowed up to the 2 1/2 story maximum.</p> <p style="text-align: right;">Accessory</p> <p>Dwelling Units: Per UDC Section 35-371(a)(6), accessory dwelling units (e.g. granny flats) shall not exceed 40% of the primary dwelling footprint, 800 sq. ft, or the height of the primary structure.</p>
ELEVATION FEATURES	Front Entry, Porch, Walkway	<p>Entrance: The primary entrance (location along primary facade where exterior space transitions to interior space) shall be located along the streetscape facade and shall be accessed through a front porch. Porch: The streetscape facade shall contain a front porch that is at least six (6) feet deep, and no less than 1/3 the width of the front facade on a single-family or duplex structure, and no less than 1/4 the width on a multi-family structure. A porch may be enclosed with the use of transparent building materials only. A porch enclosure shall maintain a transparency ratio of at least 80%. Front Walkway: A front walkway of at least 36" in width (48" for two or multi-family structures), shall connect the front door entry space to the sidewalk and/or curb.</p> <p>Note: If the front entry of a structure is rehabilitated, the design standard is required. If the rehabilitation scope does not affect the front entry, the standard is not required.</p>

**ALTA VISTA
NEIGHBORHOOD CONSERVATION DISTRICT
Residential Design Standards**

CATEGORY	ISSUE	RESIDENTIAL Design Standards
ELEVATION FEATURES	Window Openings	Windows visible from the public rights-of-way (with the exception of bathroom or kitchen windows) shall maintain a minimum vertical dimension of 2:1, and at least a 1-over-1 light division. Decorative windows shall not exceed eight (8) sq. ft. A minimum of 25% of the first floor front facade shall be dedicated to window openings. Wood window screens are preferred, however, aluminum and other metal screen frames may be used if the color matches the window trim color.
	Building Materials	Rehabilitation: Building materials shall match the existing structure in scale, proportion, and/or profile. New construction and/or rehabilitation: The use of natural wood siding (or cement-fiber board), stucco, brick or stone is encouraged. The use of natural wood siding substitute products (vinyl, MDF, plywood, hardboard) is prohibited.
	Fencing	Fencing and/or front yard walls are not recommended within the front yard space. If constructed, the front yard wall/fence shall be located parallel to the streetface, aligned with any existing adjacent fence, at a distance no greater than three (3) feet from the right-of-way. No lattice, "fencrete," or similar product, or chain link (cyclone) fencing shall be used within the front yard.
	Mailbox Location	Mailboxes shall be affixed to the front façade of the primary structure, or, if necessary, to a wall/fence at the front property line. Solid pedestal structure enclosures within the front yard area shall not be constructed.
	Roof Line/Pitch	Front-end gable or gambrel roofs shall not exceed thirty five (35) feet in length. A hip/gable roof shall maintain a minimum pitch of 5:12.

AN ORDINANCE

97590

AMENDING THE OFFICIAL ZONING MAP OF THE CITY OF SAN ANTONIO BY AMENDING CHAPTER 35, UNIFIED DEVELOPMENT CODE, SECTION 35-304 OF THE CITY CODE OF SAN ANTONIO, TEXAS TO ESTABLISH NEIGHBORHOOD CONSERVATION DISTRICT 2 (NCD-2) OVERLAY DISTRICT LOCATED IN THE ALTA VISTA NEIGHBORHOOD AS DESCRIBED HEREIN AND TO PROVIDE FOR A NEIGHBORHOOD CONSERVATION PLAN.

* * * * *

WHEREAS, the Neighborhood Conservation District Overlay District is provided for in Chapter 35-335 of the Unified Development Code; and

WHEREAS, a Neighborhood Conservation District Overlay District may be instituted to preserve, protect, enhance and perpetuate the value of unique and distinctive residential neighborhoods or commercial districts; and

WHEREAS, on July 26, 2001, the Planning Director accepted an application submitted by the Alta Vista Neighborhood Association, to develop a Neighborhood Conservation District Overlay District to be located in the Alta Vista neighborhood, hereafter described as Neighborhood Conservation District 2 (NCD-2); and

WHEREAS, Neighborhood Conservation District 2 was identified and initiated pursuant to the Midtown Neighborhoods Plan, adopted October 12, 2000; and

WHEREAS, Neighborhood Conservation District 2 satisfies the designation criteria of Chapter 35-335 in that it contains a minimum of one blockface, at least 75% of the land area in the proposed district was improved at least 25 years ago, and is presently improved, and it possesses distinctive features that create a cohesive identifiable setting, character or association; and

WHEREAS, a Neighborhood Conservation District Plan was developed, and all property owners within the proposed district were afforded the opportunity to participate in drafting the Neighborhood Conservation District Plan, which shall be approved as part of the zoning ordinance creating the Neighborhood Conservation District; and

WHEREAS, the Zoning Commission in a public hearing on April 15, 2003, recommended approval of Neighborhood Conservation District 2 (NCD-2); and

WHEREAS, the City Council aims to preserve, enhance, and perpetuate the value of this distinctive neighborhood; **NOW THEREFORE**,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SAN ANTONIO:

SECTION 1. Section 35-304 of the Unified Development Code, which is Chapter 35 of the City Code and constitutes the official zoning map of the City of San Antonio is hereby amended so that it shall hereafter include the following described changes, classification and the rezoning of the following property:

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The rezoning and reclassification of property to designate those properties as “Neighborhood Conservation District 2 (NCD-2)” on the property located within the described boundary as follows:

Beginning at the intersection of the centerlines of West Hildebrand Avenue and San Pedro Avenue;

Thence, following the centerline of San Pedro Avenue south to its intersection with the centerline West Myrtle Street;

Thence, following the centerline of West Myrtle Street west to its intersection with the centerline of North Flores Street;

Thence, following the centerline of North Flores Street north to its intersection with the centerline of Hickman Street;

Thence, following the centerline of Hickman Street west to its intersection with the centerline of the Union Pacific Railroad right-of-way;

Thence, following the centerline of the Union Pacific Railroad right-of-way northeast to its intersection with the centerline of West Hildebrand Avenue;

Thence, following the centerline of West Hildebrand Avenue east to the point of beginning; such property being more particularly described in Exhibit “A” attached hereto and incorporated herein for all purposes. A map of such tract is attached as Exhibit “B” and incorporated herein for all purposes.


SECTION 2. The Neighborhood Conservation Plan that provides design standards for Neighborhood Conservation District 2 (NCD-2), more particularly described in Exhibit “C” and made a part hereof for all purposes is hereby approved.

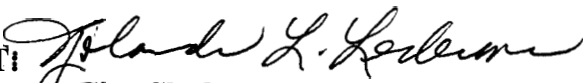
SECTION 3: All other provisions of Chapter 35 except those expressly amended by this ordinance shall remain in full force and effect including the penalties for violations as provided in Section 35-335 and Section 35-491.

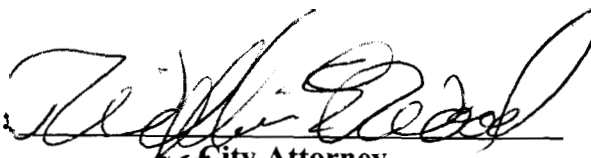
SECTION 4: The Director of Planning shall change the zoning records and maps in accordance herewith and the same shall be available and open to the public for inspection.

SECTION 5. This ordinance shall become effective May 18,2003.

PASSED AND APPROVED this the 8th day of May, 2003.


M A Y O R

ATTEST: 
City Clerk

APPROVED AS TO FORM: 
City Attorney